

**SITE DATA**

PARCEL ID: R06205-009-013-000, R06205-009-018-000, R06205-009-014-000

CURRENT ZONING: R-5 (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION

PROJECT ADDRESS: 116, 122 52nd St., WILMINGTON, NC 28403

CURRENT OWNER: FAULK PROPERTIES, LLC  
2605 TATTON DRIVE  
RALEIGH, NC 27608

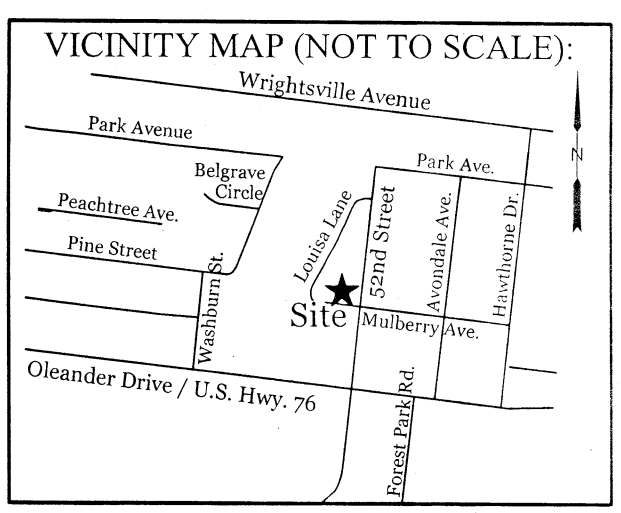
TOTAL ACREAGE IN PROJECT BOUNDARY: 38,254 S.F. (0.88 AC.)

EXISTING IMPERVIOUS AREAS:

BUILDINGS: 3,867 S.F.  
GRAVEL DRIVES: 4,956 S.F.  
TOTAL: 8,823 S.F. (23.1%) \*  
\*ALL PROPOSED TO BE REMOVED

**NOTES:**

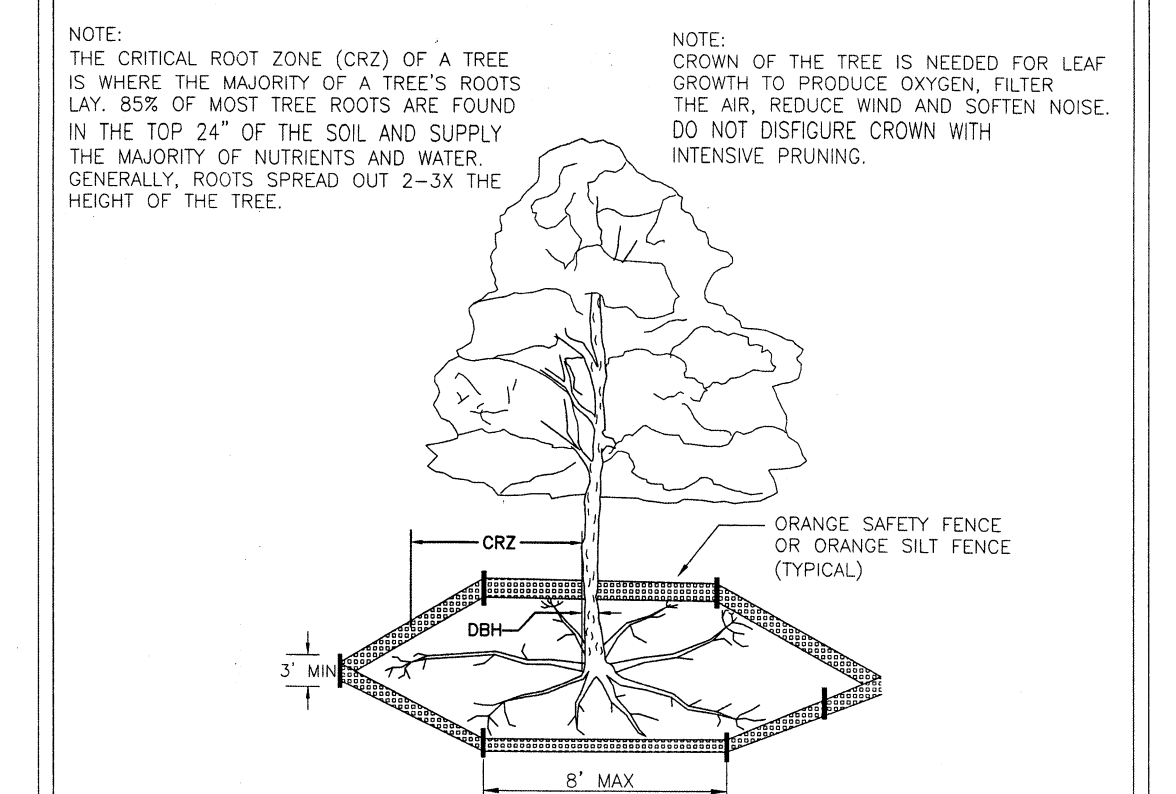
- EXISTING SURVEY INFORMATION PROVIDED BY JOE ROMEO N.C. PLS No. SURVEY DATED 1/1/19
- THIS LOT IS NOT LOCATED IN A FLOOD HAZARD ZONE AS PER N.C. FLOOD MAP 372031460-K
- SOIL TYPE: Se (Seagate Fine Sand)
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



**REVISIONS**

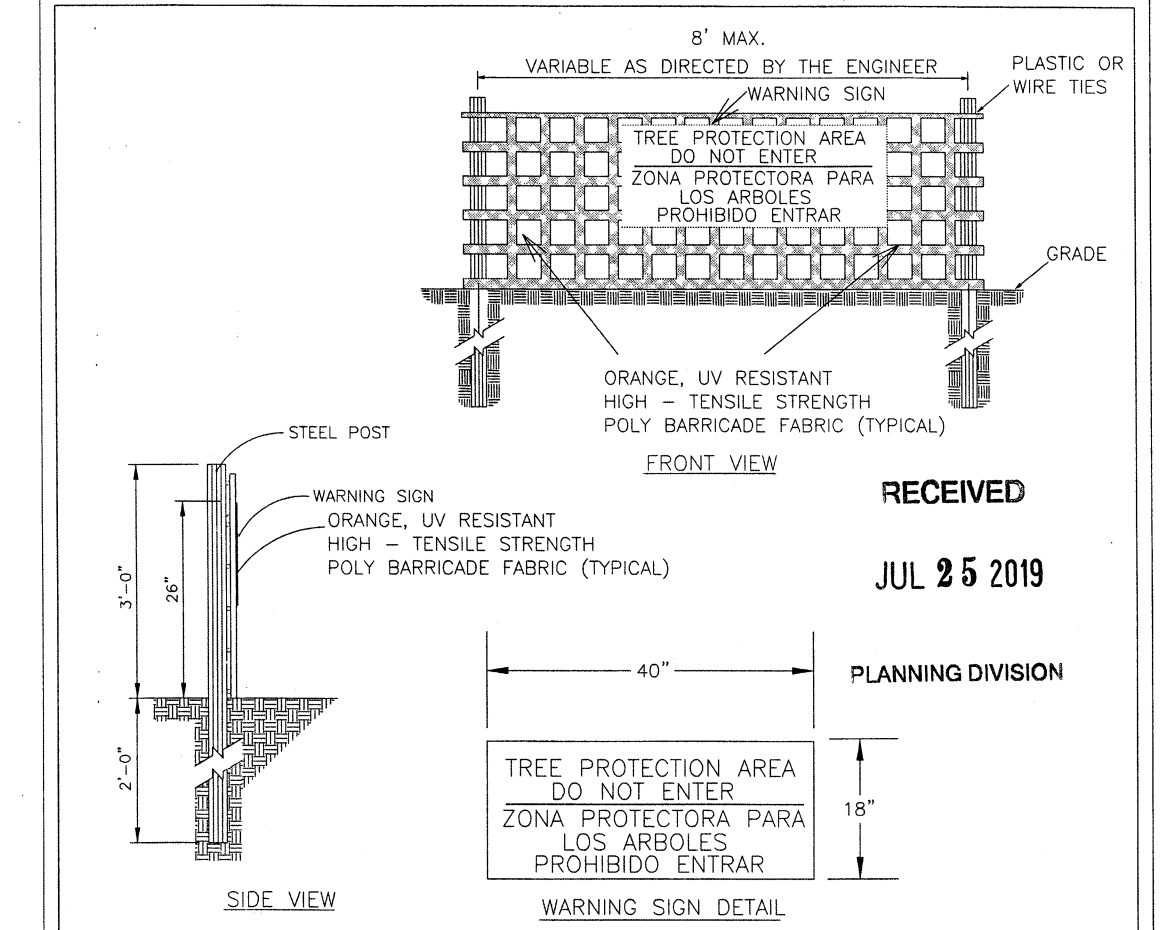
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**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr., Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: charlie@intracoastalengineering.com  
License Number: P-0662



- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
  - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
  - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

|                       |                                     |   |
|-----------------------|-------------------------------------|---|
| DATE: JAN 2015        | STANDARD DETAIL                     | CITY OF WILMINGTON NORTH CAROLINA   |
| DRAWN BY: JSR         | TREE PROTECTION DURING CONSTRUCTION | CITY OF WILMINGTON ENGINEERING<br>PO BOX 1810<br>WILMINGTON, NC 28402<br>(910) 341-7807 |
| CHECKED BY: RDG, P.E. | SHEET 1 of 2                        | SD 15-09  |
| SCALE: NOT TO SCALE   |                                     |   |



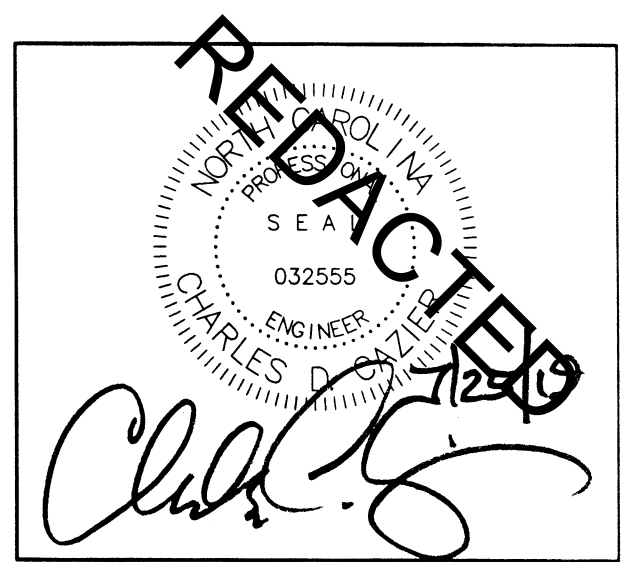
**NOTES:**

- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
- SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
- TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
- ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

|                       |                                     |   |
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| CHECKED BY: RDG, P.E. | SHEET 2 of 2                        | SD 15-09  |
| SCALE: NOT TO SCALE   |                                     |   |

**EXISTING CONDITIONS/TREE REMOVAL PLAN FOR 52nd ST. DUPLEXES**

CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC



**CLIENT INFORMATION:**

Faulk Properties, LLC  
Milton & Angela Faulk  
2605 Tatton Drive  
Raleigh, NC 27608  
Phone: (919) 604-3727

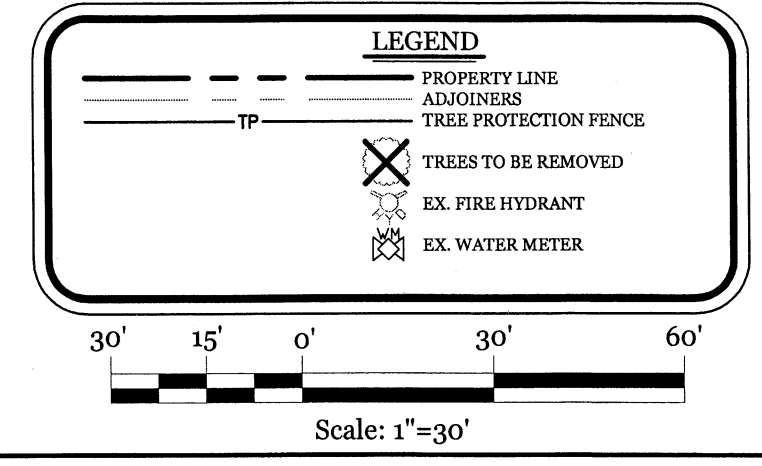
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|--------------------------|-------------------|
| DRAWN: JAE               | SHEET SIZE: 24x36 |
| CHECKED: CDC             | DATE: 7/25/2019   |
| APPROVED: CDC            | SCALE: 1" = 30'   |
| PROJECT NUMBER: 2019-011 |                   |

DRAWING NUMBER: **C-0** 1 OF 4

**Approved Construction Plan**

| Name             | Date    |
|------------------|---------|
| Planning         | 7/29/19 |
| Public Utilities | 7-26-19 |
| Traffic          | 7-26-19 |
| Fire             | 7-26-19 |

City of Wilmington, North Carolina  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 7/26/2019 Permit # 2019047  
Signed: *Tank Bottom for RAC*



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PROJECT ADDRESS: 116, 122 52nd St., WILMINGTON, NC 28403

CURRENT OWNER: FAULK PROPERTIES, LLC  
2605 TATTON DRIVE  
RALEIGH, NC 27608

TOTAL ACREAGE IN PROJECT BOUNDARY: 38,254 S.F. (0.88 AC.)

BUILDING HEIGHT: 35' MAX

MAXIMUM BUILDING LOT COVERAGE: 50%

NUMBER OF BUILDINGS/UNITS:  
TOTAL: 1 DUPLEX PER LOT (2-Two Bedroom Units)  
4 DUPLEXES (8-Two Bedroom Units)

BUILDING SETBACKS:  
FRONT: REQUIRED= 20'  
SIDE: REQUIRED= 7' (10.5 CORNER)  
REAR: REQUIRED= 15'

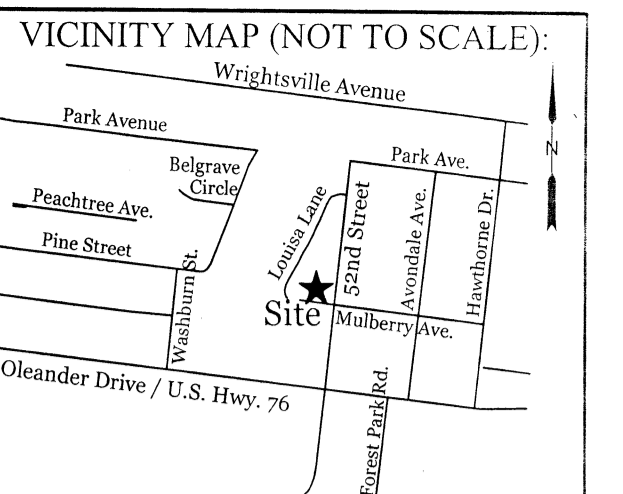
PROPOSED ON-SITE IMPERVIOUS AREAS:  
ASPHALT DRIVEWAY: 2,800 S.F.  
CONCRETE DRIVEWAY AFRON: 1,128 S.F.  
COW CONCRETE SIDEWALK: 3,928 S.F. (10.3%)  
TOTAL: 7,856 S.F.

PROPOSED OFF-SITE IMPERVIOUS AREAS:  
CONCRETE DRIVEWAY AFRON: 145 S.F.  
ASPHALT INTERCONNECTION: 700 S.F.  
TOTAL: 845 S.F.

OPEN SPACE REQUIREMENT: (0.03 AC. per du)  
.03 X 8 du = 0.24 AC  
PROVIDED: 0.0 AC (REQUESTING AN EXEMPTION)

EXISTING SEWER AND WATER DEMAND: 800 GPD

PROPOSED SEWER AND WATER DEMAND:  
SEWER: (8) 2 BDRM RES. @ 240 GAL/RES. = 1,920 GPD  
WATER: (8) 2 BDRM RES. @ 265 GAL/RES. = 2,120 GPD



REVISIONS

| NO. | DATE | DESCRIPTION |
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Email: Charles@intracoastalengineering.com  
License Number: P-0662

**SITE, GRADING, DRAINAGE, & UTILITIES PLAN FOR 52nd ST. DUPLEXES**

CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

**RETRACTED**

NOTED FOR RECORD

SEAL

032555

ENGINEER

CHARLES D. CALDWELL

7/26/19

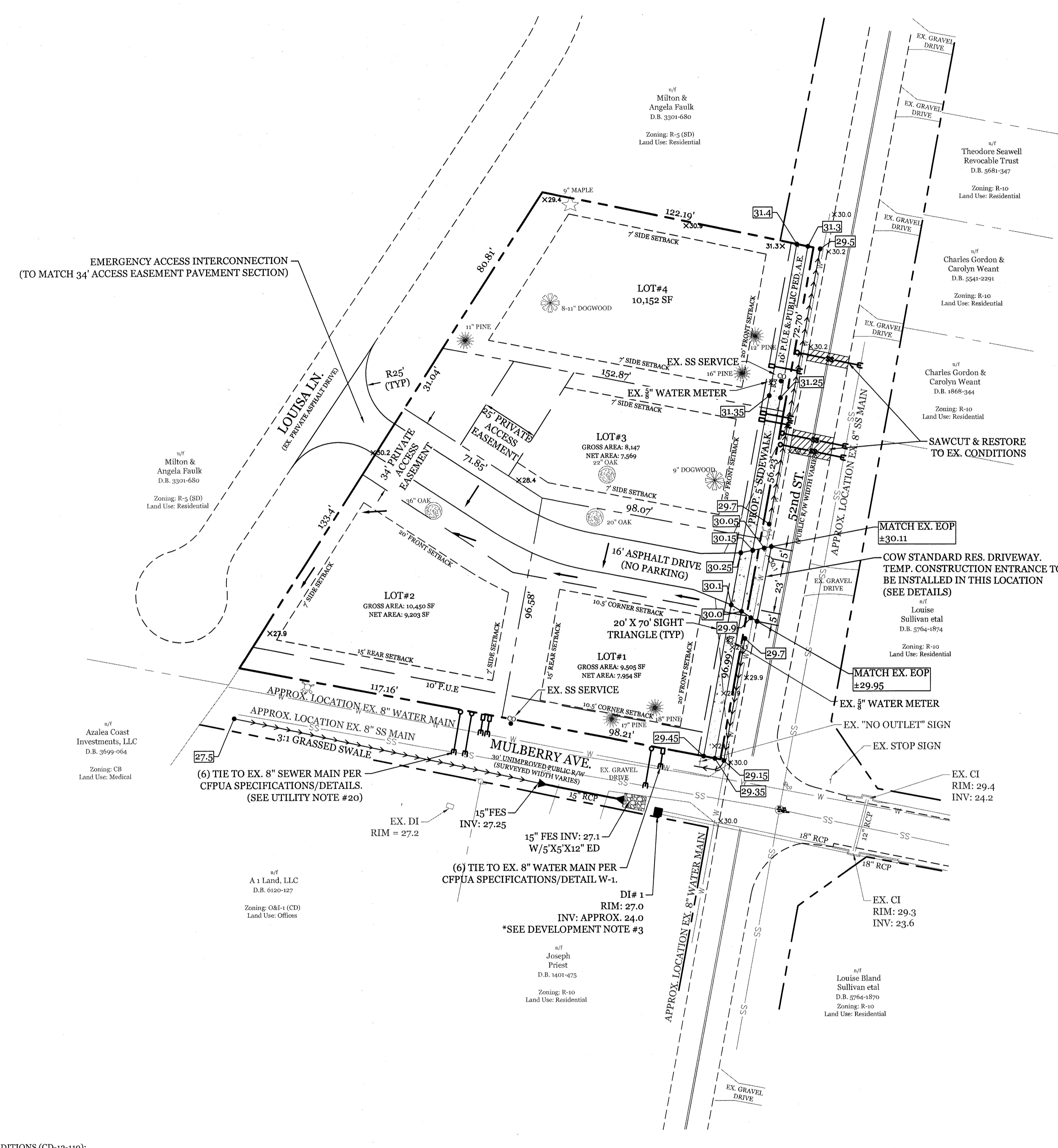
CLIENT INFORMATION:

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| APPROVED: CDC            | SCALE: 1" = 30'   |
| PROJECT NUMBER: 2019-011 |                   |

DRAWING NUMBER: **C-1**

2 OF 4



**DEVELOPMENT NOTES:**

- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- EXISTING 18" PIPE TO BE UNCOVERED BY CONTRACTOR AND VERIFIED BEFORE START OF CONSTRUCTION.

**UTILITY NOTES:**

- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
- ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
- ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPUA TECHNICAL SPECIFICATIONS & STANDARDS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCPCOR OR ASSE.
- IF CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 D.I.P. WITH PROTECTO 401 CERAMIC EPOXY LINING.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
- CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
- THE PROCESS FOR TELEPHONE CABLE PLACEMENT: \* FINAL GRADE WILL NEED TO BE ESTABLISHED. \* POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. \* BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
- SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.
- SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.
- SEPARATION BETWEEN JOINTS, FITTINGS, SERVICE SADDLES AND WYES ARE REQUIRED FOR SS AND WATER TAPS.
- EXISTING 1" WATER AND 4" SEWER SERVICES (SIZES ARE ASSUMED) SHALL BE UTILIZED AT LOTS #1 & 4. IF EXISTING SERVICES ARE FOUND TO BE INADEQUATE, CONTRACTOR TO PROVIDE NEW SERVICES PER CFPUA SPECIFICATIONS AND DETAILS.

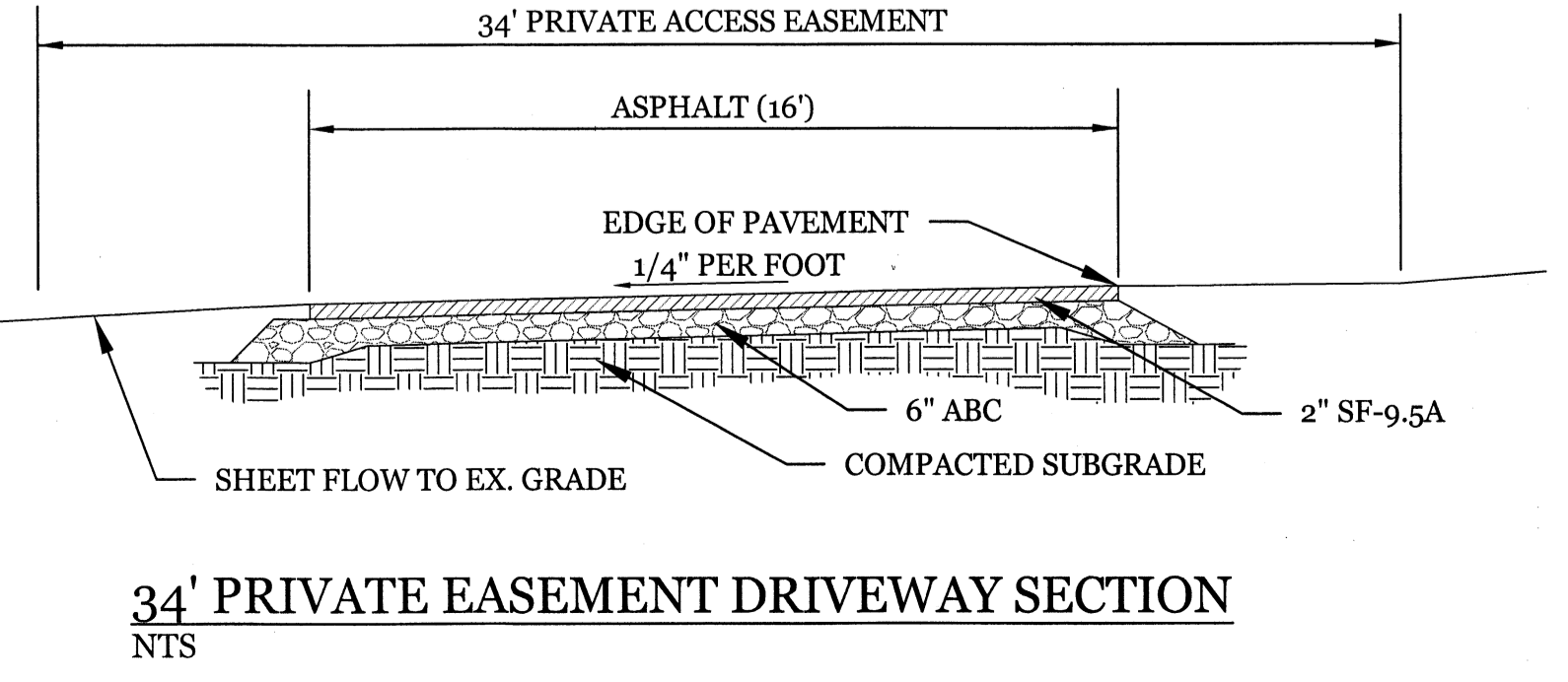
**FIRE & SAFETY NOTES:**

- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.

**TRAFFIC NOTES:**

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'. [SEC.18-556 COFW LDC]
- DRIVEWAYS FOR ALL LOTS SHALL CONNECT TO ASPHALT DRIVE WITHIN THE 34' ACCESS EASEMENT ONLY. NO ADDITIONAL DRIVEWAYS WILL BE PERMITTED ON 52nd ST. OR MULBERRY AVE. RIGHT OF WAYS.

- APPROVED ORDINANCE CONDITIONS (CD-13-119):
- The use and development of the subject property shall comply with all regulations and requirements imposed by the Land Development Code, the City of Wilmington Technical Standards and Specifications Manual and any other applicable federal, state or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
  - Approval of this conditional district zoning does not constitute technical approval of the site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
  - If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and of no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
  - The use and development of the subject property shall be in accordance with the site plan as submitted (dated received, December 19, 2018).
  - Vehicular access shall be restricted to the shared access easement for all lots, with no individual lot access on 52nd Street.
  - Any parking over the required minimum shall be pervious.
  - Applicant shall preserve significant trees and any trees not considered essential site improvements on the subject properties.
  - No vehicles may be parked in the street yard or other landscape areas of the site.
  - All landscaping and buffers shall be installed in accordance with Land Development Code.
  - Landscaping shall utilize indigenous tree species.
  - A sidewalk shall be installed along 52nd Street.
  - Strict adherence to the design standards will be confirmed as part of the technical review.
  - No freestanding signs shall be permitted.
  - All City, State and Federal regulations shall be met



**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 7/26/2019 Permit # 2019047

Signed: *Tim Baten for RAC*

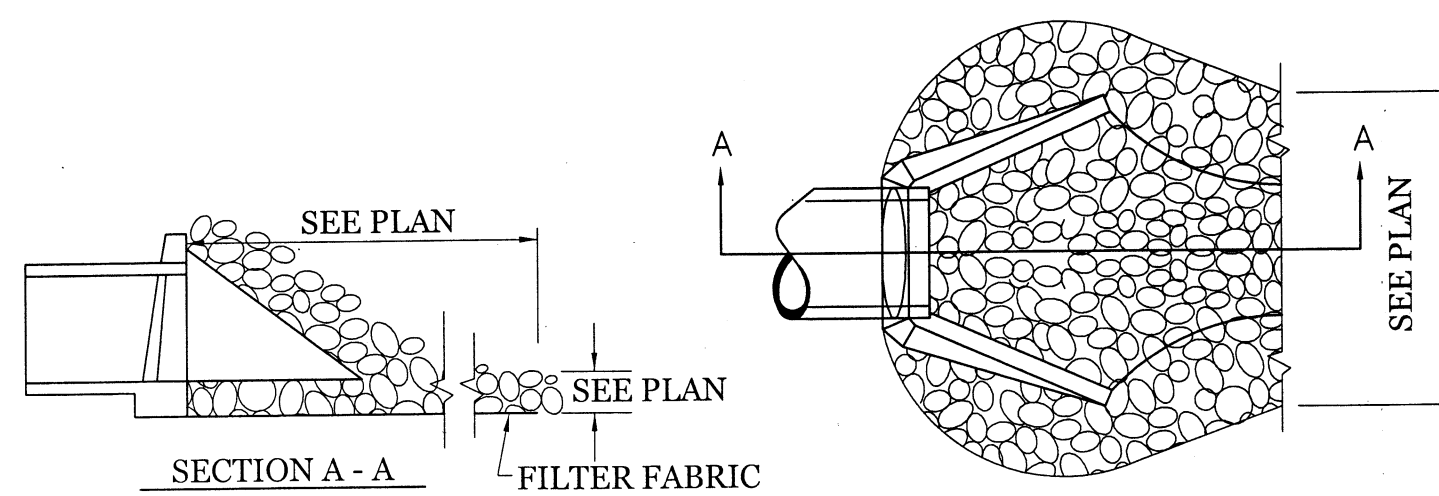
**Approved Construction Plan**

| Planning         | Name               | Date    |
|------------------|--------------------|---------|
| Public Utilities | <i>[Signature]</i> | 7-29-19 |
| Traffic          | <i>[Signature]</i> | 7-26-19 |
| Fire             | <i>[Signature]</i> | 7-26-19 |

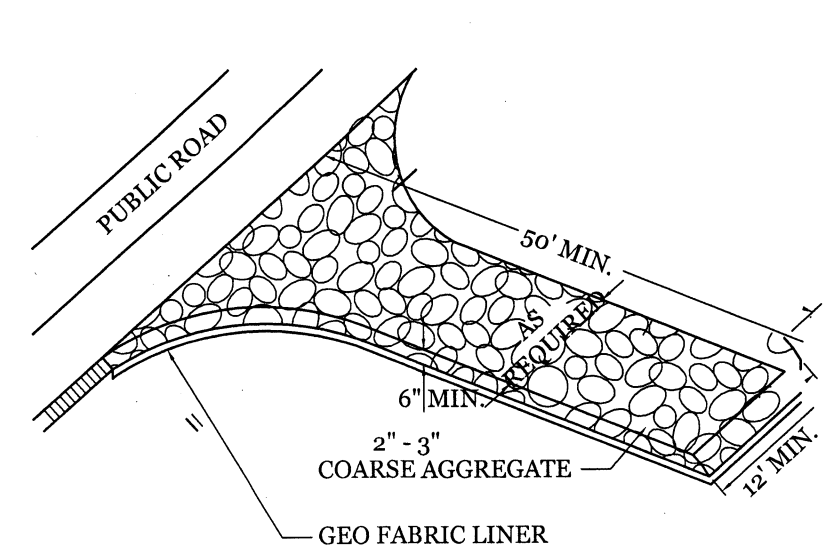
**LEGEND**

- PROPERTY LINE
- PROPOSED LOTLINE
- SETBACKS
- RUNOFF DIRECTION
- CENTERLINE
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED GRASS SWALE
- SPOT ELEVATION
- EX. FIRE HYDRANT
- EX. WATER METER

Scale: 1"=30'

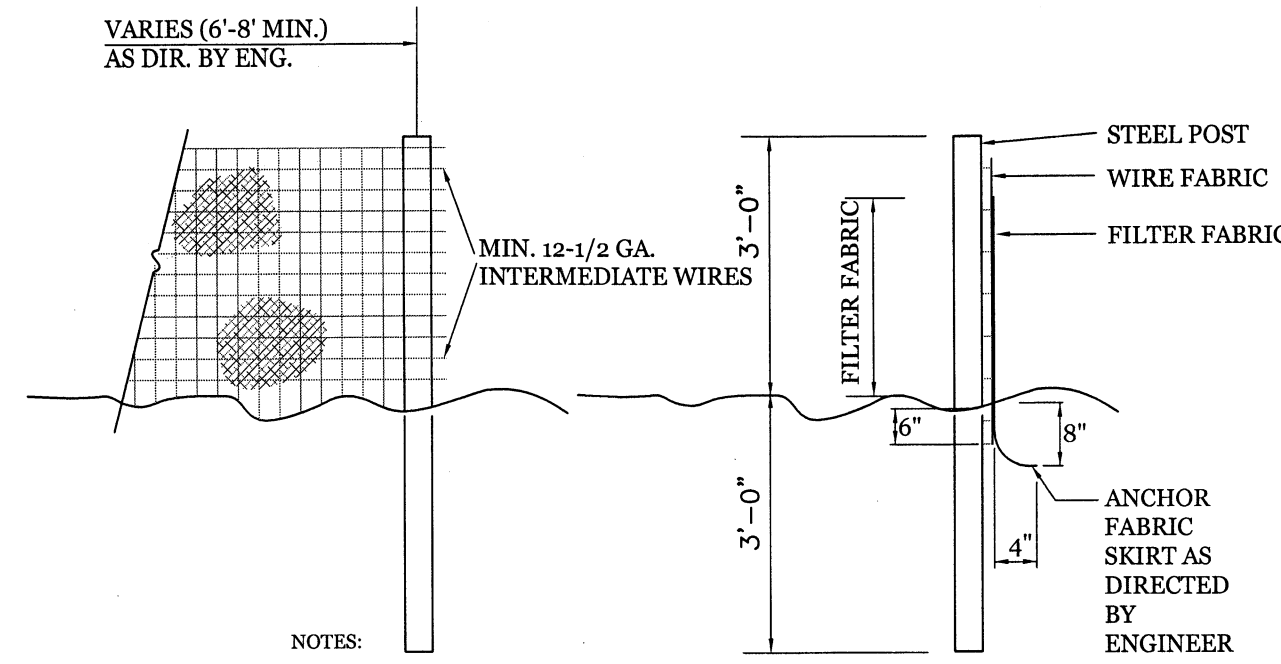


**ENERGY DISSIPATOR**  
NTS



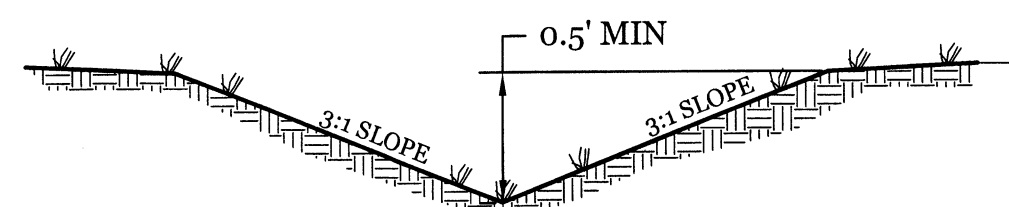
NOTE:  
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**  
NTS



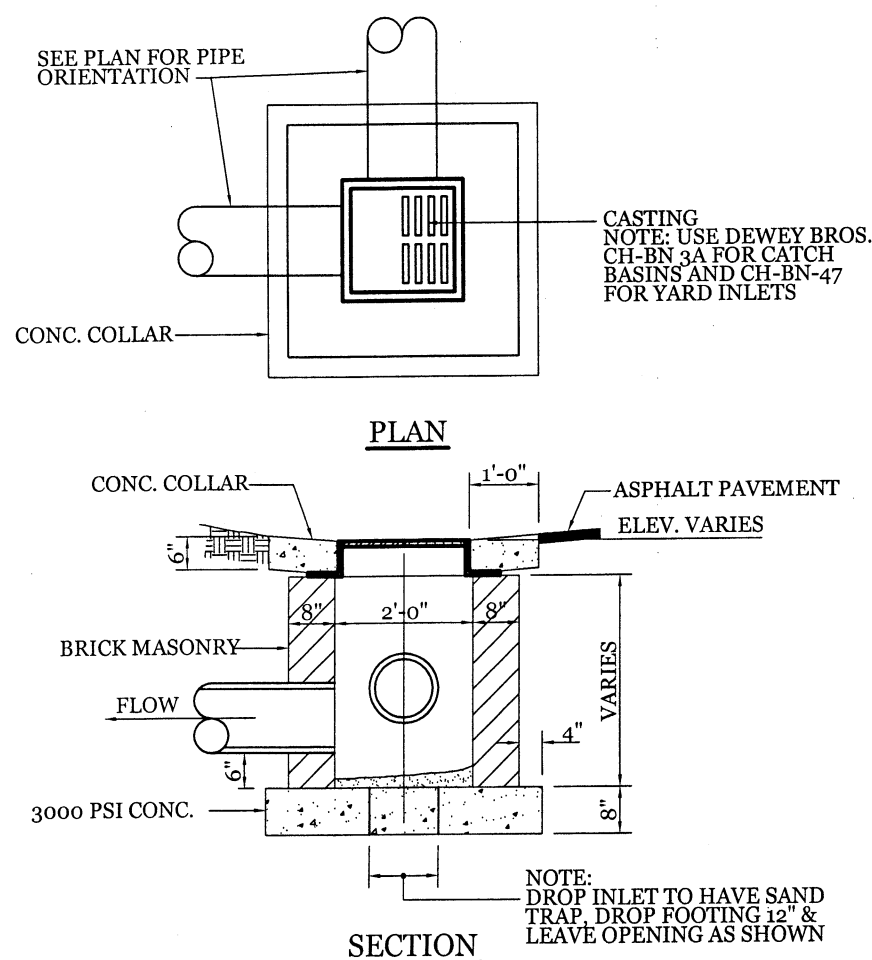
NOTES:  
1. FENCE FABRIC SHALL BE A MIN. OF 36" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.  
2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.  
3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

**TEMPORARY SILT FENCE**  
NTS



1. SWALES TO BE LINED WITH EXCELSIOR MAT & SEEDED IN ACCORDANCE WITH SPECIFICATIONS IMMEDIATELY.

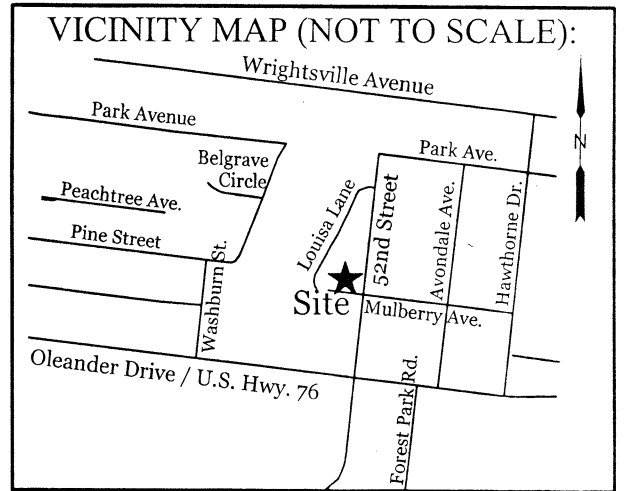
**TYPICAL 3:1 GRASS SWALE**  
NTS



**DROP INLET DETAIL**  
NTS

**SITE WORK NOTES:**

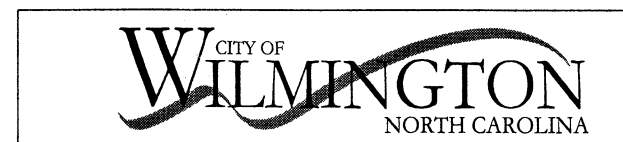
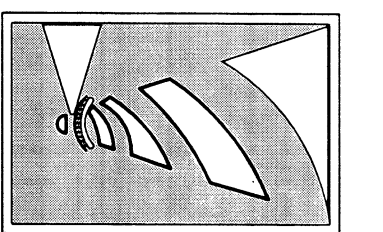
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
15. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
16. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPDUA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
17. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
18. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
19. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
20. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
21. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



**REVISIONS**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: charlie@intracoastalengineering.com  
License Number: P-0662



Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: 7/26/2019 Permit # 2019047

Signed: *Trust Babin for RAC*

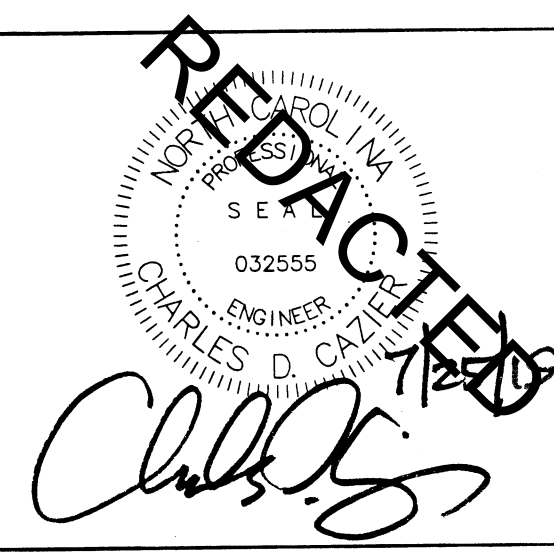
**Approved Construction Plan**

| Name             | Date    |
|------------------|---------|
| Planning         | 7-29-19 |
| Public Utilities |         |
| Traffic          | 7-26-19 |
| Fire             | 7-26-19 |

DETAILS FOR

52nd ST. DUPLEXES

CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

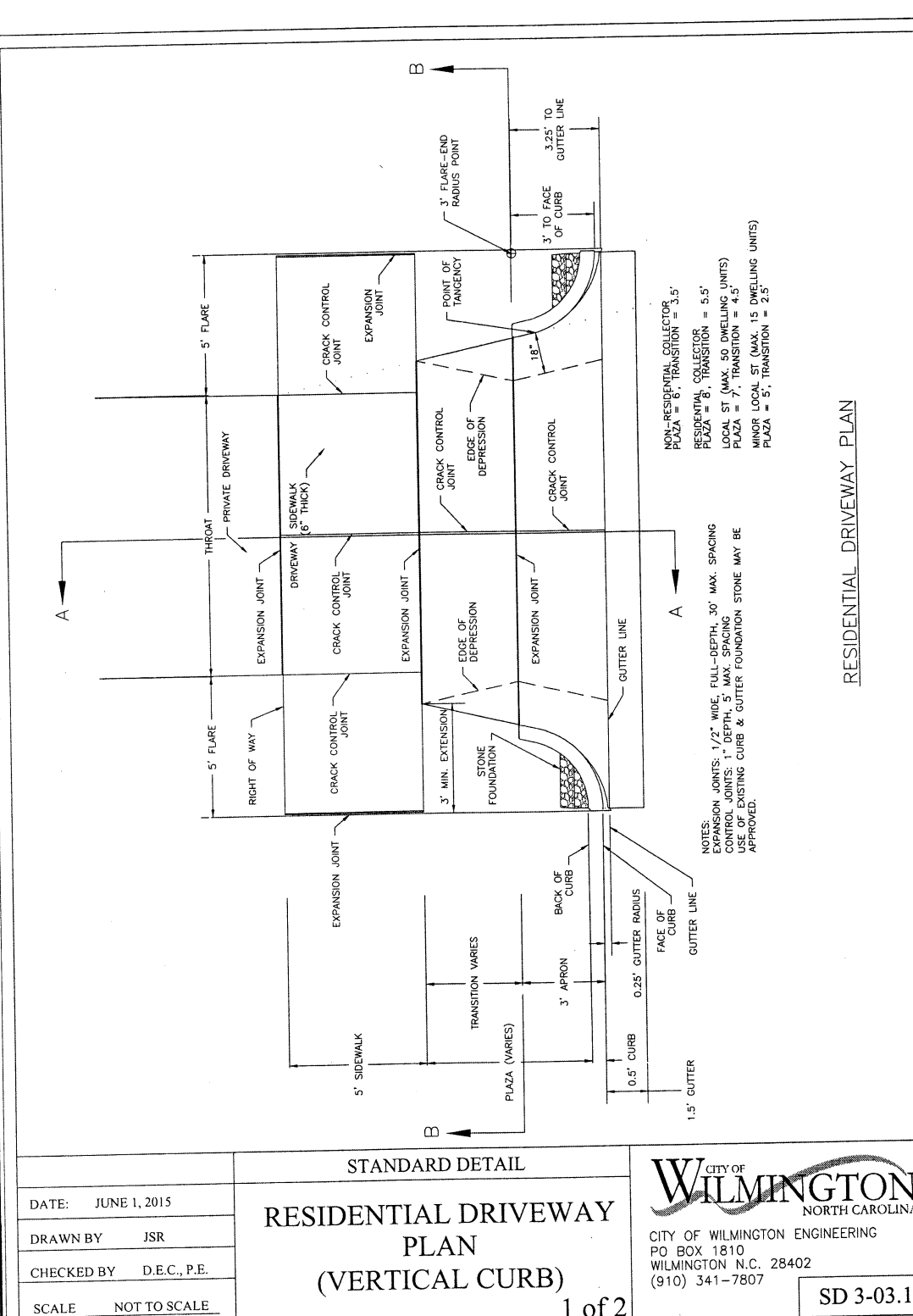


**CLIENT INFORMATION:**

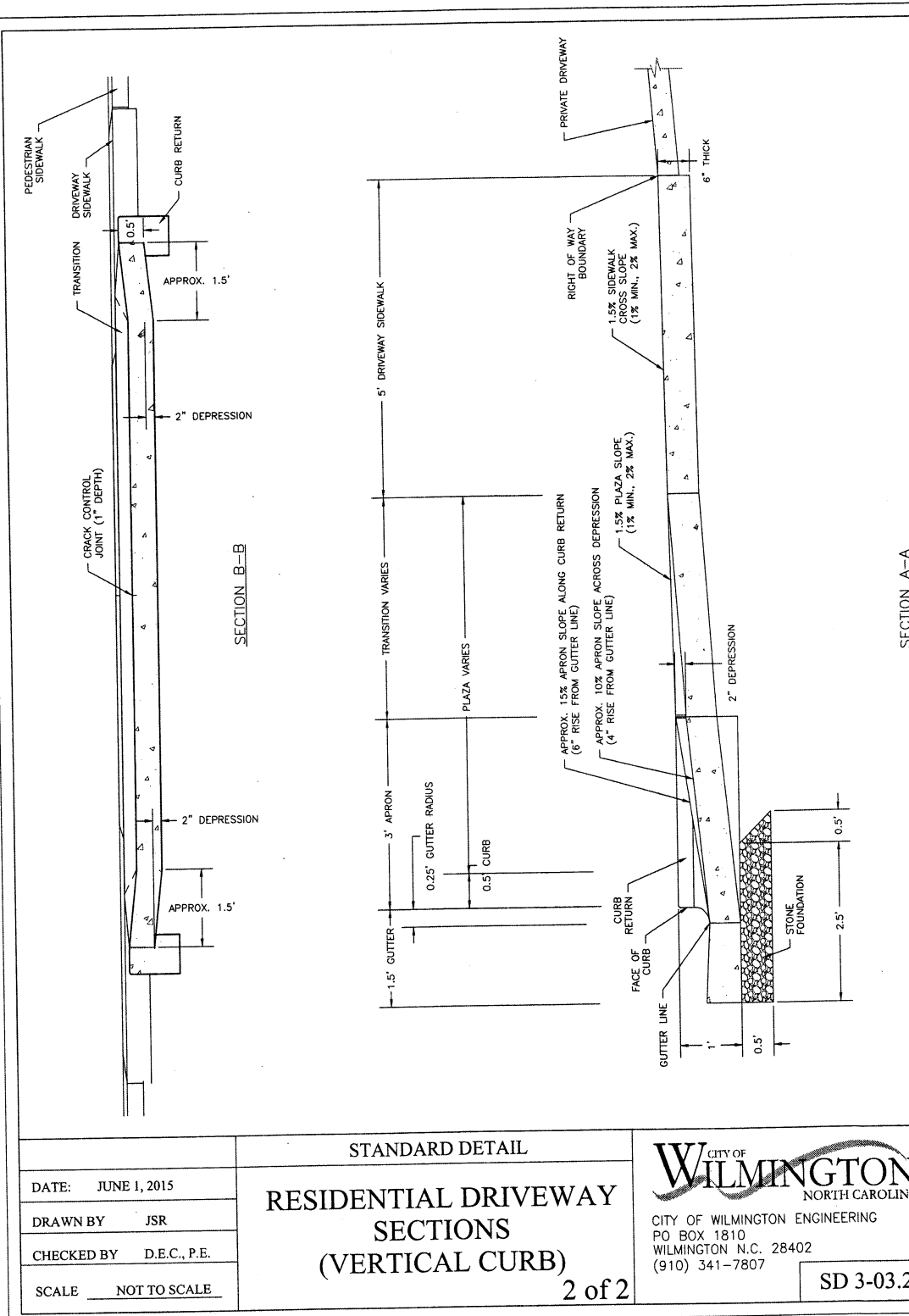
Faulk Properties, LLC  
Milton & Angela Faulk  
2605 Taton Drive  
Raleigh, NC 27608  
Phone: (919) 604-3727

|                          |                   |
|--------------------------|-------------------|
| DRAWN: JAE               | SHEET SIZE: 24x36 |
| CHECKED: CDC             | DATE: 7/25/2019   |
| APPROVED: CDC            | SCALE: NTS        |
| PROJECT NUMBER: 2019-011 |                   |

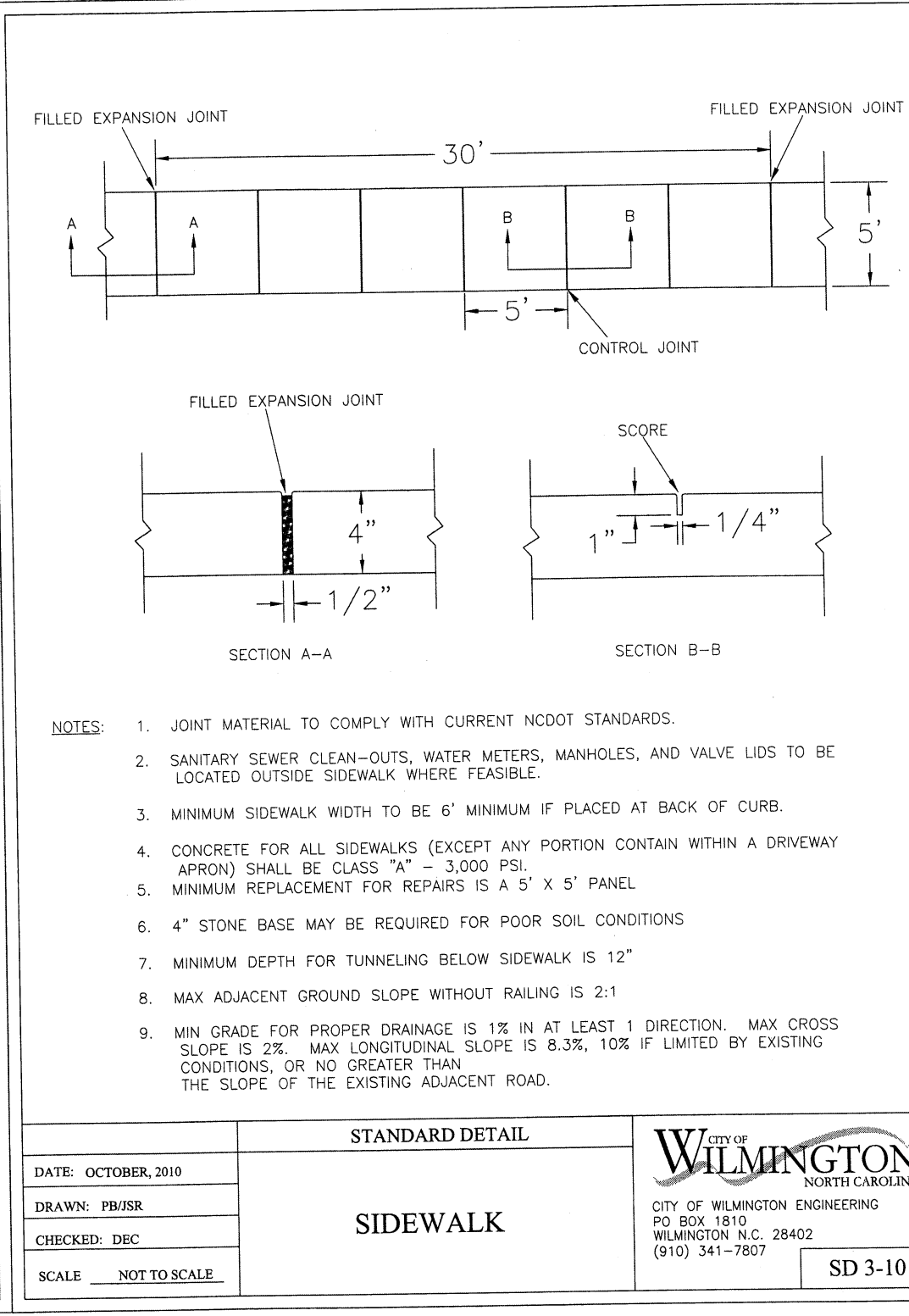
DRAWING NUMBER: **C-2**



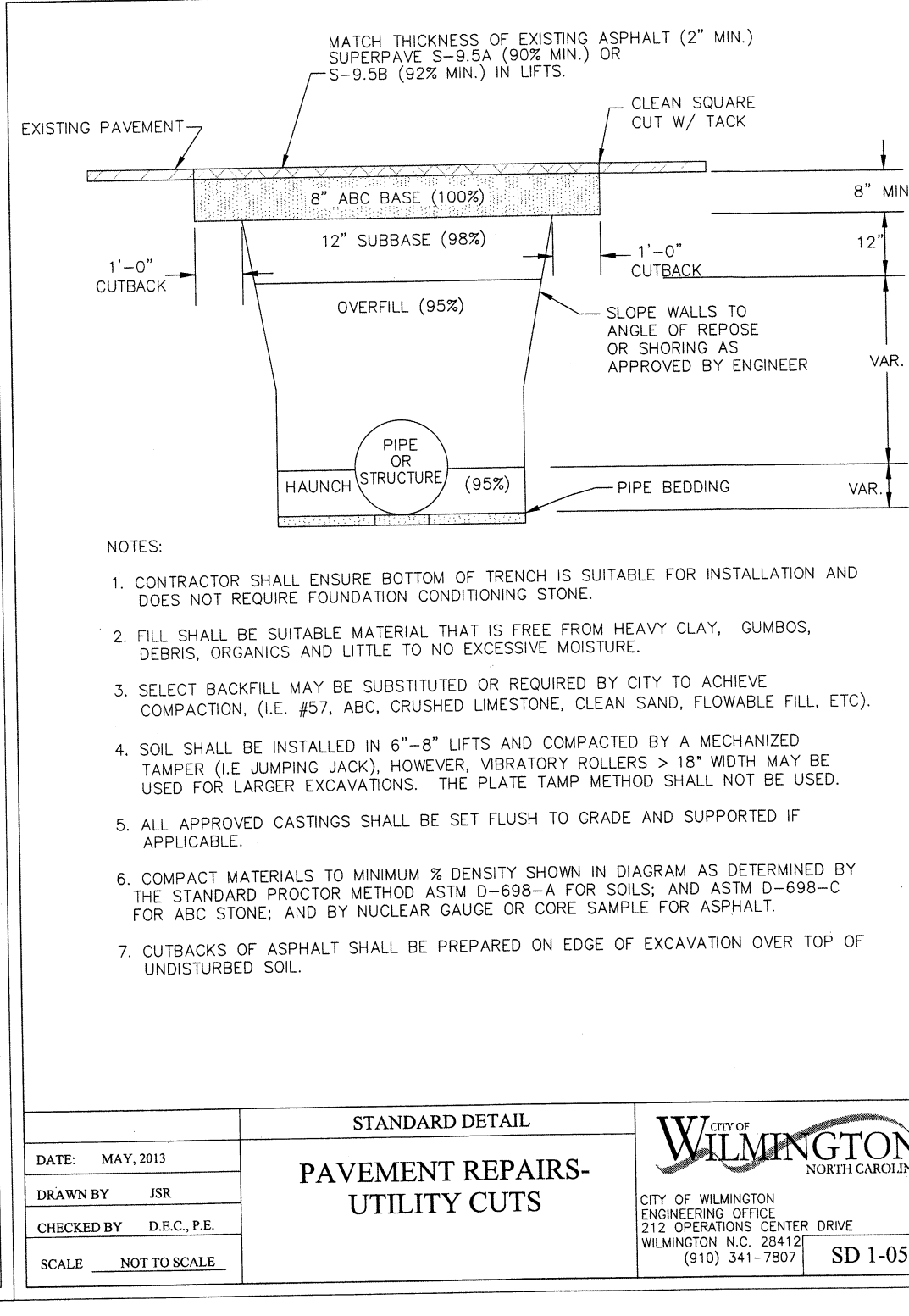
**RESIDENTIAL DRIVEWAY PLAN (VERTICAL CURB)**  
SD 3-03.1



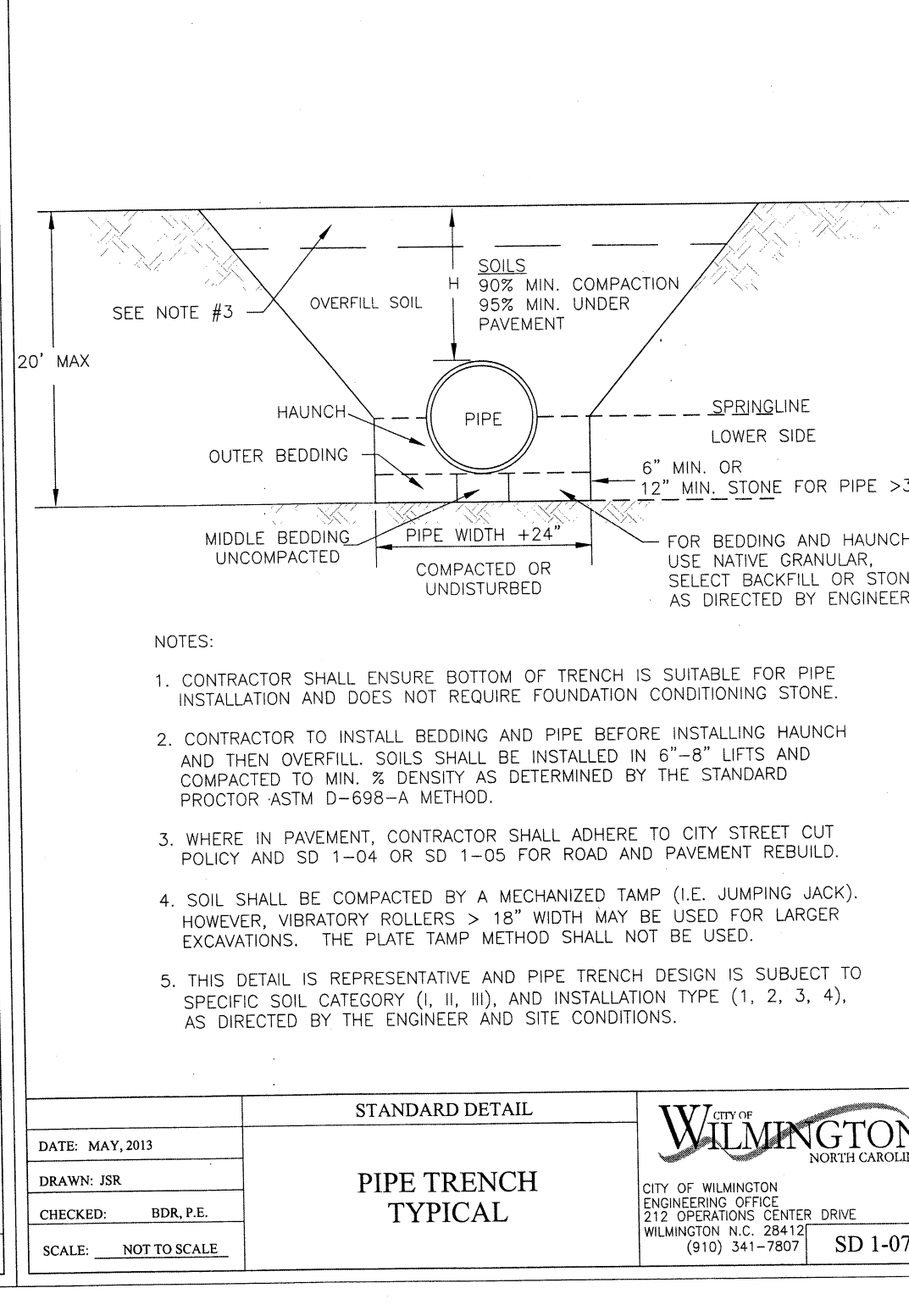
**STANDARD DETAIL RESIDENTIAL DRIVEWAY SECTIONS (VERTICAL CURB)**  
SD 3-03.2



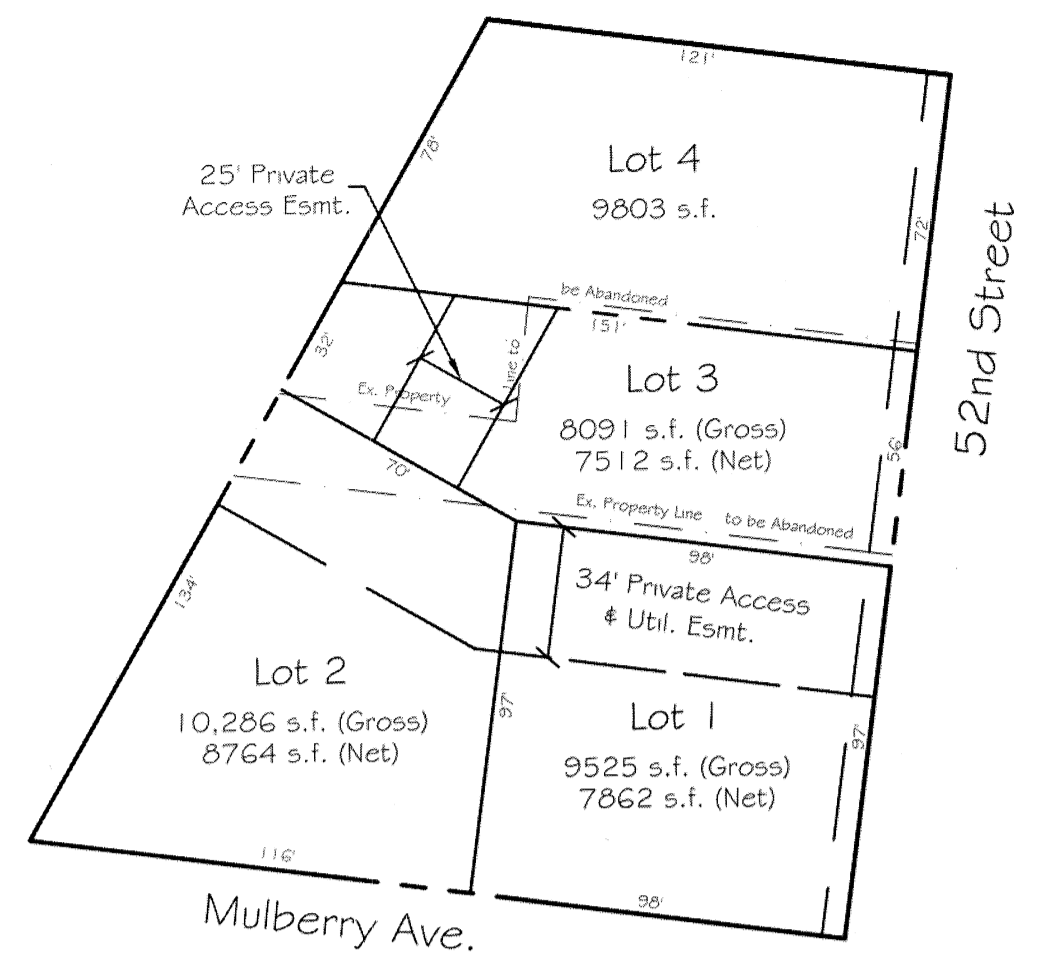
**STANDARD DETAIL SIDEWALK**  
SD 3-10



**STANDARD DETAIL PAVEMENT REPAIRS - UTILITY CUTS**  
SD 1-05

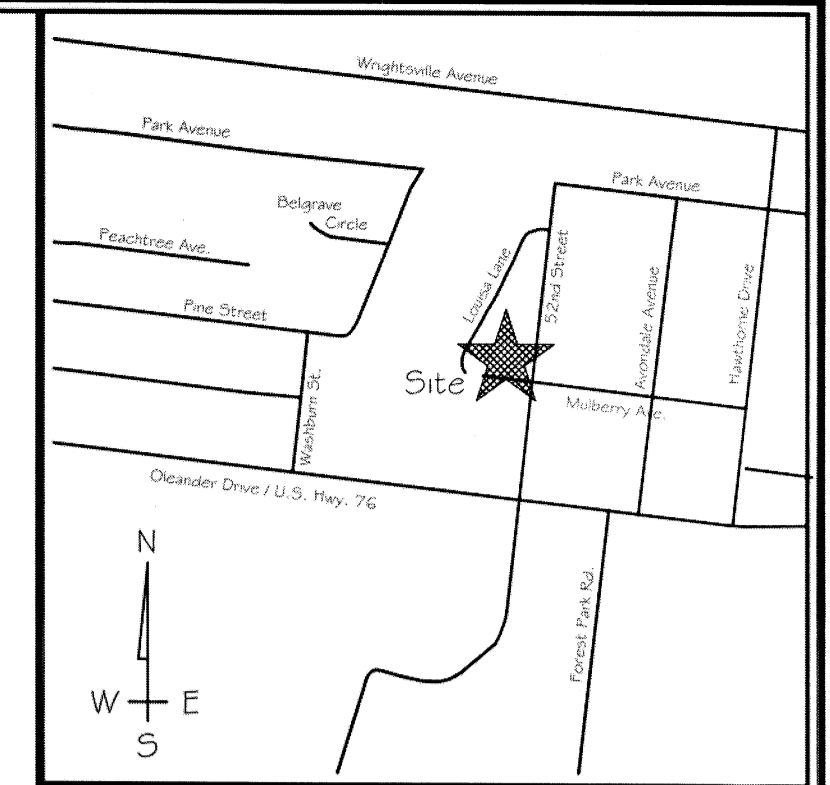


**STANDARD DETAIL PIPE TRENCH TYPICAL**  
SD 1-07



**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
Date: 7/26/2019 Permit # 2019047  
Signed: *Todd Butler for RAC*

**Approved Construction Plan**  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_ 7/29/19  
Public Utilities: \_\_\_\_\_  
Traffic: *W. Faulk* 7-26-19  
Fire: *R. B. B.* 7-26-19



Vicinity Map  
(No Scale)

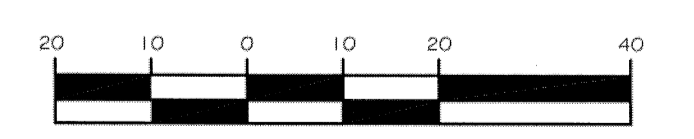
- Site Inventory Notes:**
1. Soil Type: Se (Seagate fine sand)
  2. The property is not impacted by any AEC.
  3. There are no Conservation Overlay boundaries affecting the property.
  4. This site is not impacted by any recognized historic or archeological significance.
  5. No cemeteries were evidenced on the site.
  6. Existing vegetation has been located and is labeled.
  7. There is no evidence of jurisdictional wetlands on the site.
  8. There is no evidence of endangered species or habitat issues on the site.
  9. The property is not within any Special Flood Hazard Area as evidenced on N.C. Flood Map 37203146000.
  10. The site drainage flows into the Hewitts Creek drainage basin.

**Development Data:**

Proposed Land Use: Residential / 4 Lots each with a Duplex  
Development Lot Area: 37,706 s.f.  
Total Building Coverage: 9,600 s.f. ± (23.7%)  
Total Gross Floor Area: 8,080 s.f. ± (@ 1010 s.f. / 8 - 2BR residences)  
Building Height: 1-Story / 16'  
Impervious Surfaces:  
Rooftops - 9,600 s.f. ±  
Paved Access Drive & Turnaround - 3,764 s.f. ±  
Total - 13,364 s.f. ±

- Development Notes:**
1. All development shall be in accordance with the City of Wilmington Land Development Code.
  2. Project shall comply with all Federal, State & New Hanover County regulations.

- General Notes:**
1. New Hanover County Parcel No.:  
314606-29-6355  
314606-29-6259  
314606-29-6222
  2. Project Tract Area: 37,706 s.f. (0.87 ac. ±)
  3. Existing Zoning District: R-15  
Proposed Zoning District: R-5 (CD)  
Setbacks - 20' Front  
15' Rear  
7.5' Side
  4. CAMA Land Classification: Urban
  5. Create Wilmington Designation:  
Adjacent to a Live / Work Innovation Zone



- Utility Notes:**
1. Existing water and sanitary sewer services are currently available to the lots from Cape Fear Public Utility Authority public mains.
  2. All utility services, such as electric power, GATV, gas & telephone shall be installed underground.
  3. All water & sewer utilities to be installed per CFPWA Technical Specifications & Standards.
  4. Project shall comply with CFPWA Cross Connection Control requirements. Water meters cannot be released until all requirements are met and N.C.D.E.N.R. has issued their "Final Approval." Call 343-3910 for information.
  5. Solid waste disposal will be serviced by roll-out carts.

- Stormwater Management Notes:**
1. Stormwater management will meet City & State requirements.

- Fire & Life Safety Notes:**
1. Construction Type - 5B
  2. Buildings will not be sprinkled.

- Tree Preservation Notes:**
1. Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
  2. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
  3. Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
  4. Label protective fencing with signs to be placed every 50 linear feet, or at least two (2) per area, in both English & Spanish "Tree Protection Area: Do Not Enter."
  5. A landscaping plan, indicating the location of required street trees shall be submitted to the Traffic Engineering Division and Parks & Recreation Department for review and approval prior to the recording of the Final Plat. Plan shall adhere

- Site Inventory Notes:**
1. Soil Types: Le (Leon sand)
  2. The property is not impacted by any AEC.
  3. There are no Conservation Resources.
  4. This site is not impacted by any recognized historic or archeological significance.
  5. No cemeteries were evidenced on the site.
  6. Regulated vegetation has been located within the development area.
  7. There are no jurisdictional wetlands within the project boundaries.
  8. There is no evidence of endangered species or habitat issues on the site.
  9. This property is not within a flood hazard area as evidenced on N.C. Flood Panel 37203157.
  10. The site drainage flows into the Bradley Creek watershed.

n/f  
Milton &  
Angela Faulk  
D.B. 3301-680  
Zoning: R-5 (SD)  
Land Use: Residential

n/f  
Azalea Coast  
Investments, LLC  
D.B. 3699-064  
Zoning: CB  
Land Use: Medical

n/f  
A I Land, LLC  
D.B. 6120-127  
Zoning: O4I-1 (CD)  
Land Use: Offices

n/f  
Milton &  
Angela Faulk  
D.B. 3301-680  
Zoning: R-5 (SD)  
Land Use: Residential

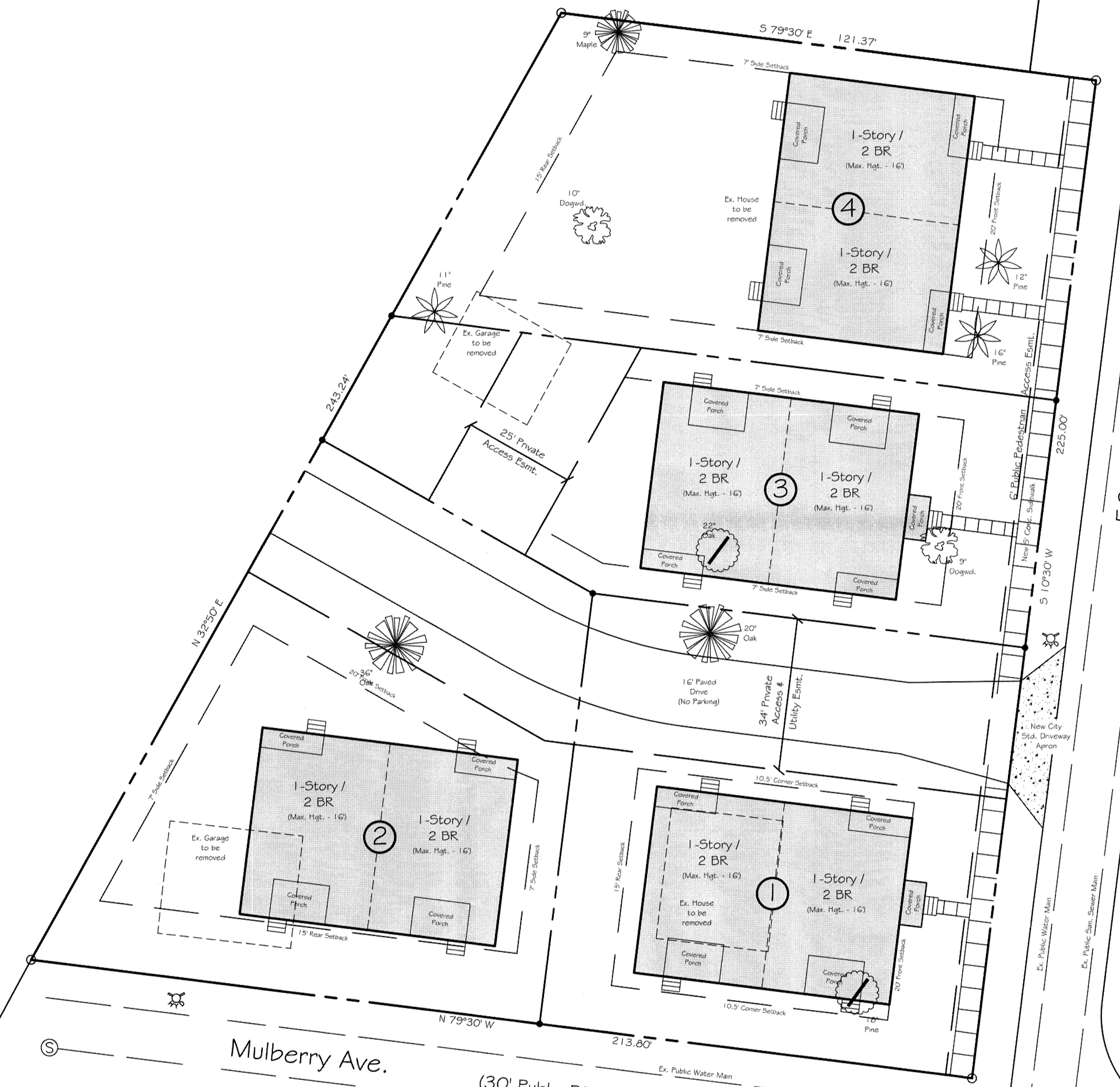
n/f  
Theodore Seawell  
Revocable Trust  
D.B. 5661-347  
Zoning: R-10  
Land Use: Residential

n/f  
Charles Gordon &  
Carolyn Weant  
D.B. 5541-2291  
Zoning: R-10  
Land Use: Residential

n/f  
Charles Gordon &  
Carolyn Weant  
D.B. 1868-344  
Zoning: R-10  
Land Use: Residential

n/f  
Louise  
Sullivan et al  
D.B. 5764-1874  
Zoning: R-10  
Land Use: Residential

n/f  
Louise Bland  
Sullivan et al  
D.B. 5764-1870  
Zoning: R-10  
Land Use: Residential



**REDACTED**

P.O. Box 7221  
Wilmington, NC 28406  
Tel. 910-620-2374



Project No: 18-47  
Scale: 1" = 20'  
Date: 11/21/18  
Revision: 12/20/18 for IRC recommendations

Developer:  
Milton & Angela Faulk  
2605 Tatton Drive  
Raleigh, NC 27608

Conditional District  
Concept Plan

Property Address: 116 & 122 52nd Street  
**52nd Street Cottages**  
Wilmington Township / New Hanover County / North Carolina